

EXHIBIT X

DRAFT Fairhaven Urban Village Design STANDARDS

City of Bellingham, Washington

DRAFT 12/21/11

Created by the City of Bellingham, Washington, 2012

in collaboration with

The Fairhaven Neighborhood

Nore Winter, Winter & Company
Denver Colorado

Artifacts Consulting, Inc.
Tacoma Washington

Front Cover Photo Credit XX

Table of Contents

- Chapter 1.** **Using the Design Standards**
- Chapter 2.** **Fairhaven Design Review District Areas**
- Chapter 3.** **New Construction and Alterations**
- Chapter 4.** **All Projects**
- Chapter 5.** **Historic Buildings - Rehabilitation and Treatment**

Appendices *(Appendices to be added at a later date)*

- Appendix A:** Historic Preservation Project Planning
- Appendix B:** Incentives for Buildings and Districts Listed on the Bellingham Local Historic Register
- Appendix C:** Fairhaven National Register District Nomination, 1977

DRAFT 12/21/11

CHAPTER 1
USING THE DESIGN STANDARDS

CHAPTER 1: USING THE DESIGN STANDARDS

This chapter provides direction on how to use the *Fairhaven Urban Village Design Standards* (“*Fairhaven Design Standards*”, or “*Standards*”). A flow chart on **page XX** helps project applicants identify which section of the guidelines will apply to their specific type of project, be it rehabilitation of an existing historic building, changes to a non-historic building, construction of a new building, or other type of improvement project.

Purpose of the Design Standards

The purpose of the *Fairhaven Design Standards* is to promote high-quality new construction and preservation of the historic, cultural, and architectural heritage of the Fairhaven Historic District and to maintain an attractive, pedestrian-oriented environment in the other Fairhaven Design Review Areas.

Shaped to be used in conjunction with the policies laid out in the *Fairhaven Neighborhood and Urban Village Plan*, and the Development Regulations in Bellingham Municipal Code (**BMC 20.25 and 20.37**), the *Fairhaven Design Standards* strive to maintain Fairhaven as a cohesive, livable place and promote the appropriate treatment of historic buildings, structures, sites and objects.

The *Fairhaven Design Standards* promote design that is sensitive to the historic context and in harmony with the community's vision for growth.

The *Standards* overview historic preservation principles, provide guidance on how to plan a preservation project, and outline different treatment categories for historic properties. The *Standards* provide a basis for making decisions about the appropriateness of improvements that are subject to approval through the City's design review process. They also serve as educational and planning tools for property owners and design professionals who make improvements.

Celebrated by residents, business owners, and visitors as a dynamic place to live, work, enjoy nature and benefit from an artisan shopping experience, the Fairhaven Neighborhood lives vibrantly with respect for the past while looking to the future.

Objectives of the Design Standards

1. Provide a streamlined, predictable review and permitting process;
2. Draw from best practices in design review standards and standards for historic, commercial mixed use, and industrial properties
3. Preserve the integrity of the Fairhaven Historic District
4. Continue to enhance the traditional character in the commercial area surrounding the historic district while inviting new creative, high-quality and compatible development; and
5. Provide design guidance for development in the industrial zones.

Underlying Policies

The *Fairhaven Design Standards* respect traditional character while accommodating compatible improvements. They reflect the City's goals to promote economic development, sustainable building practices, enhance the image of the area, and adaptively reuse historic resources. Several documents have provided policy foundation for the standards, including:

1. *Bellingham Comprehensive Plan*

The *Bellingham Comprehensive Plan* is the City's guiding policy document for land use, development, and public improvement. The Comprehensive Plan identifies goals and policies related to community design and historic preservation. ([link](#))

2. *Fairhaven Neighborhood and Urban Village Plan*

The *Fairhaven Neighborhood and Urban Village Plan* provides the guiding policy document for land use, development, and public improvement specific to the neighborhood of Fairhaven, and identifies goals and policies related to community design, historic preservation, and other key issues. ([link](#))

3. *Standards for the Treatment of Historic Properties*

The Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings are general standards established by the National Park Service. ([link](#)) The *Fairhaven Design Standards* are written to be congruent with policies set by the Secretary of the Interior's Standards, while expanding on the basic rehabilitation principles for Fairhaven.

4. *Preservation Briefs and Tech Notes*

Within the U.S. Department of the Interior, the Cultural Resources Department of the National Park Service publishes a series of technical reports regarding proper preservation techniques. This series, *Preservation Briefs and Tech Notes*, is a mainstay for preservationists and developers. Consult these resources when considering a preservation project. ([link](#))

The Design Review Process

BMC 20.xx.xx and 20.xx.xx regulates the general process for reviewing new buildings and changes to existing buildings in Fairhaven. The *Fairhaven Design Standards* provide:

- Applicable standards that must be met for all designs, and
- Guidelines that provide advice and examples of how a design might meet a standard.

Design standards are criteria that must be met as part of design review

Applicants are responsible for explaining, in their application, how their design meets each applicable standard. If an applicant does not follow a guideline, they are responsible to explain how their design meets each standard. This allows designs to be flexible, innovative, and appropriate for each unique location. There may be many different ways to comply with a design standard.

The statements of intent, design standards and guidelines outlined in this document are used by applicants, the public, City staff, the Historic Preservation Commission (HPC), and the Planning & Community Development Director to review new developments in Fairhaven. Not all standards and guidelines are applicable to every project in Fairhaven. If an applicant has a question about applicable standards, they may consult Planning and Community Development staff.

Design Review for Historic Buildings

Historic contributing properties in the Fairhaven Historic District, as well as properties listed on the Bellingham Local Historic Register, require a Certificate of Alteration that demonstrates the improvement proposals are in compliance with the underlying development code, design guidelines, and with BMC 17.90. More detail about review procedures and the requirements for documentation that must be submitted can be obtained from City staff, or on the City's web site at ([link](#)).

Design Review Tracks

This document is organized into chapters that represent three design review “Tracks”:

- A. Preservation / Rehabilitation Track**
- B. New Building Track**
- C. All Projects / Other Improvements Track**

The following elaborates on which Track will apply to different types of projects:¹

A. Preservation / Rehabilitation Track

The Preservation / Rehabilitation Track applies to all historic “contributing” buildings within the Fairhaven Historic District, and to buildings listed on the Bellingham Local Historic Register (BLHR).

This Track also applies when the property owner desires to restore a building to its original design. Some properties may have experienced alterations over the years such as window replacement, cornice removal, porch enclosures, or the covering of the building’s original materials. Often, if a building’s original features are restored or replaced, it may have the potential to become “individually eligible” for listing on the Local, State, and / or National Historic Registers.

A “**contributing**” building is one that is determined to be historically significant within a historic district.

A “**non-contributing**” building is one that has been determined to not be historically significant within a historic district. A list of contributing buildings within the Fairhaven Historic District is provided in Chapter 2: Fairhaven Design Review District Areas.

An individually “**eligible**” building is one that is typically over 50 years old and retains most of its original design and features and thus is eligible for listing on the Local, State, and / or National Historic Registers. In some cases, a building that has been altered could be restored to the extent that it could be considered “eligible” for listing on a historic register. The City will work with a property owner to determine if their building is, or has the potential to be considered an “eligible” historic building.

Relevant Chapters:

- Chapter 5: Rehabilitation and Treatment of Historic Buildings
- Appendix A: Historic Preservation Project Planning.
- Depending on your project, you may also need to refer to Chapter 4: All Projects.



Figure xx . 1305 Old Fairhaven Parkway.

Improvements to buildings listed on the BLHR, such as the one pictured above, would follow the “Preservation / Rehabilitation Track”.

¹ Some projects may involve a combination of improvements using more than one Design Review Track.

B. New Building Track

The New Building Track applies to all non-contributing properties in the Fairhaven Historic District, and to those in the other four Design Review Areas (except as noted below):

Projects involving a new structure on a vacant lot, an additional structure on a lot where a building already exists, or work on an existing, “non-historic” (less than 50 years old) or non-applicable buildings (buildings over 50 years old that have lost too much of their original design integrity) will follow this Track.

Relevant Chapters:

- Chapter 3:
New Construction and Alterations
- Chapter 4: All Projects



Figure xx. 12th Street Market Building.

New buildings in Fairhaven such as this one at xx 12th Street would follow the New Building “Track”

C. Other Improvements / All Projects Track

Other projects involving site work, signs and a variety of other specialized project types are reviewed in the Other Improvements / All Projects Track.

Relevant Chapters:

- Chapter 4: All Projects

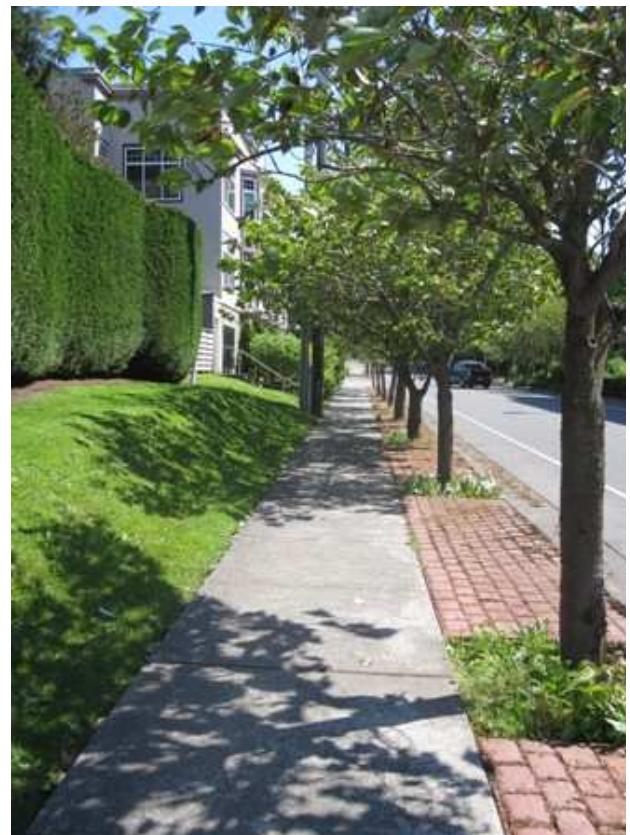


Figure xx. Sidewalk along 10th Street.

Projects involving lighting, streetscape, parking, etc. would fall under the “Other Improvements / All Projects “Track”.

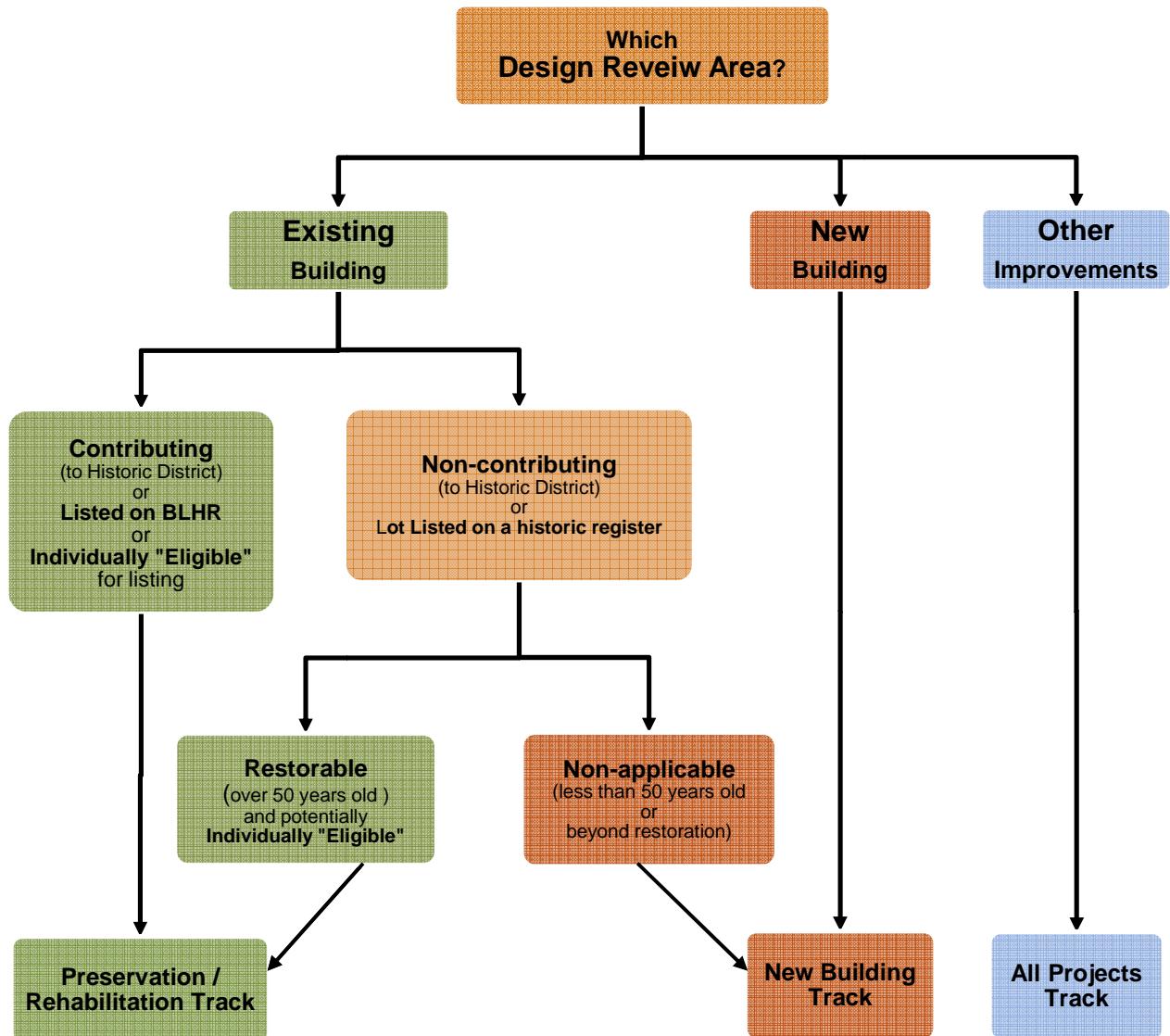


Figure xx . Which “Track” should your project follow?

The *Fairhaven Design Standards* are organized into chapters representing “Tracks” for different types of projects. The chart above illustrates how to determine which Track will apply to specific proposals.

DRAFT 12/21/11

CHAPTER 2

FAIRHAVEN DESIGN REVIEW DISTRICT AREAS

CHAPTER 2: FAIRHAVEN DESIGN REVIEW DISTRICT AREAS

This chapter provides brief descriptions and identifies specific policies for each of the four Design Review Areas (DRAs) within the Fairhaven Design Review District. Boundaries for each DRA were based on the underlying land use, zoning, and character of existing buildings. The intent of creating four separate DRAs is to give property owners, design professionals and developers direction for the appropriate design of new buildings that are compatible with neighboring buildings, or their "context".

The four DRAs include:

1. *Historic District DRA*

The Historic District DRA has many historic buildings that the community wants to preserve. The guidelines provide direction on how to preserve, restore, repair and reconstruct these buildings.

2. *Historic Influence DRA*

This DRA has an eclectic collection of new, recently built, and potentially eligible historic buildings. The guidelines for this area provide guidance for designing compatible new construction and adaptively reusing existing buildings.

3. *Industrial Influence DRA*

4. *Maritime Influence DRA*

The Industrial and Maritime Influence DRAs have guidelines that apply to new non-industrial construction. The focus in these DRAs is on providing a positive pedestrian experience.

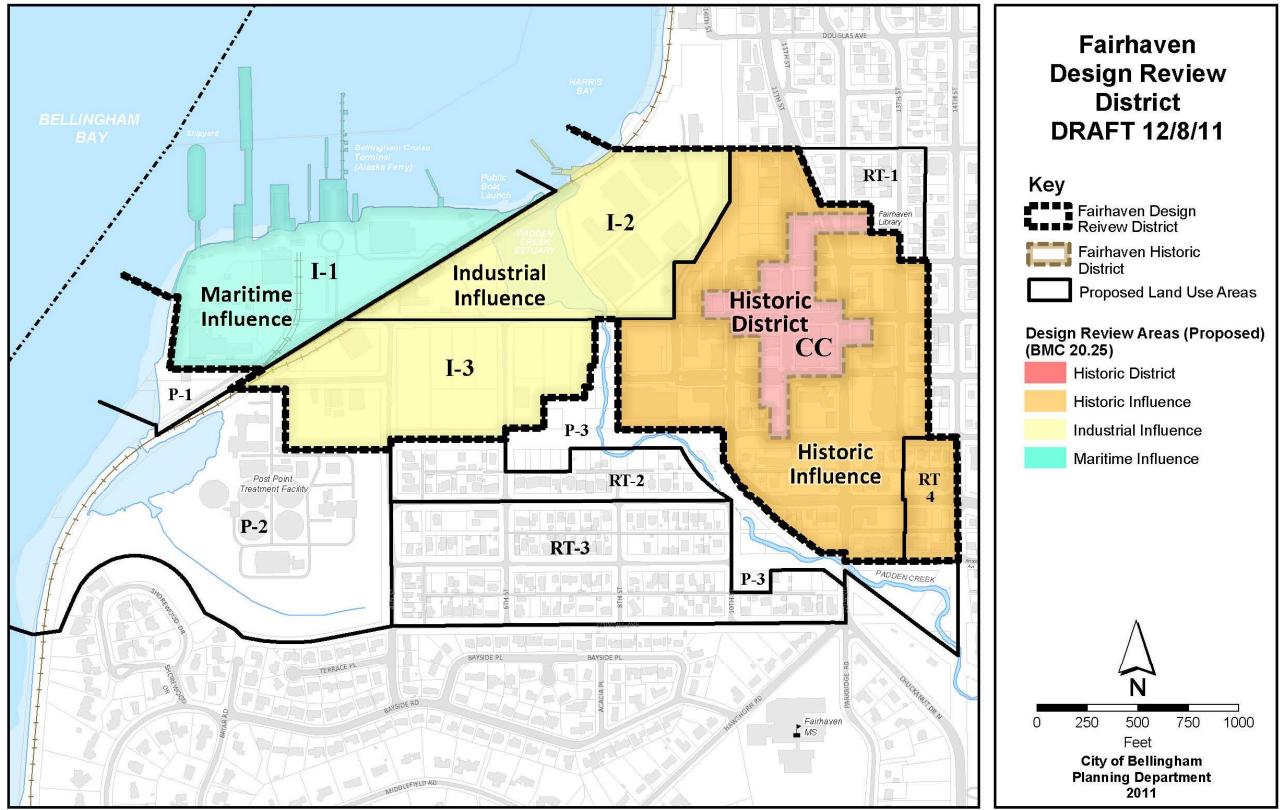


Figure xx . Map showing the four Design Review Areas within the Fairhaven Design Review District.

1. Historic District Design Review Area

Underlying Zoning: Commercial

Description: The Historic District DRA is the heart of commercial Fairhaven and contains the greatest concentration of historically significant properties in the neighborhood. Listed on the National Register of Historic Places in 1977, the Historic District DRA is irregular in shape and follows the bounds of the National Historic District. The center of the Historic District is the intersection of Harris Avenue and 11th Street.

The “historic context” of the district – that is, the geographical area, associated historical themes and subjects, and the historical and contemporary time frame within which it developed -- provides the basis for design goals, policies and guidelines in this DRA. Derived from the commercial buildings constructed in the late 19th and early 20th century, the Historic District’s “period of significance” spans from 1888 to 1929, marked by the earliest building still remaining (the Terminal Building) up through the last building to be constructed within the 50 year “historic” threshold as of 1977. (the Fairhaven Pharmacy building, built in 1929, was 48 years old in 1977 and was included in the historic district).

The first building episode includes 15 buildings dating from the speculative boom around 1888 to the First World War. (The Bellingham Post Office, 1306-08 11th Street, has been substantially altered by a major renovation after being gutted by a fire in the 1980s.) Two buildings were constructed after the primary historic period, Chuckanut Motors in 1919 and Fairhaven Pharmacy in 1929.

Policies for the Historic District DRA

1. Preserve and restore historic buildings.
2. Alterations of historic buildings are based on the Secretary of the Interior’s Standards, as adapted to Fairhaven.
3. Replace inappropriate alterations to historic buildings with more accurate and / or compatible improvements.
4. Design new buildings to reference historic buildings through the use of similar materials, fenestration, and workmanship.

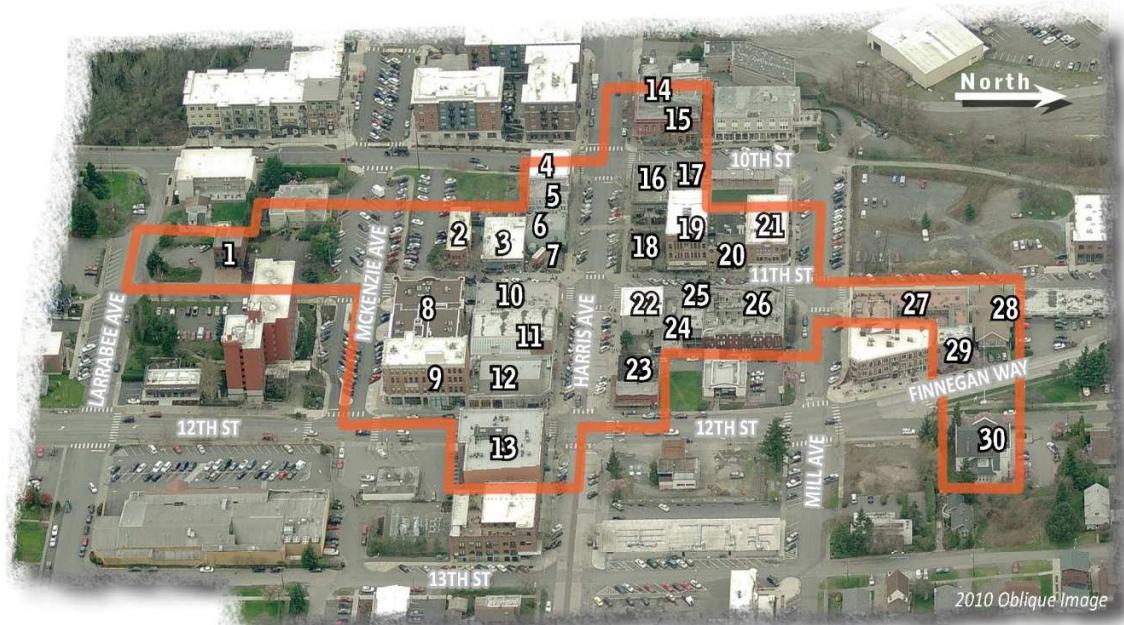


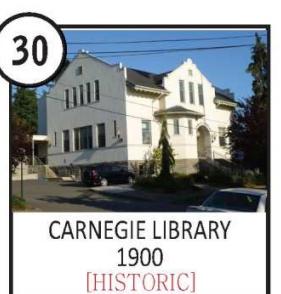
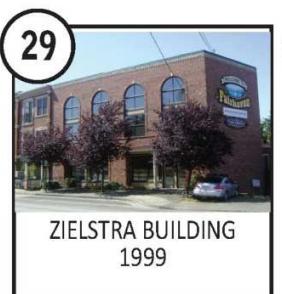
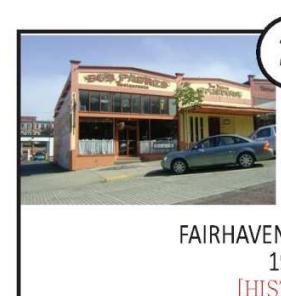
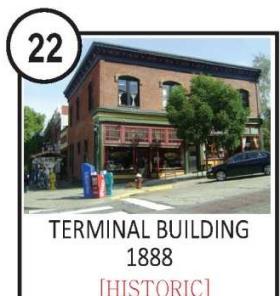
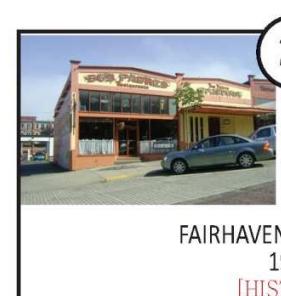
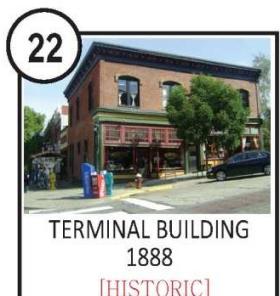
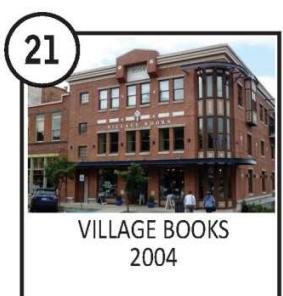
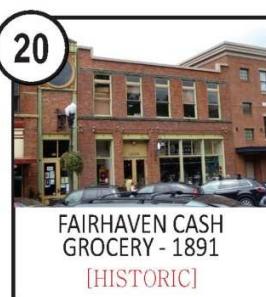
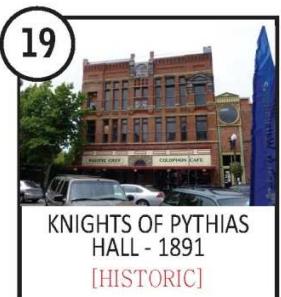
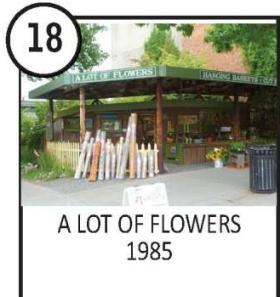
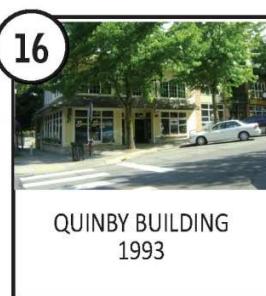
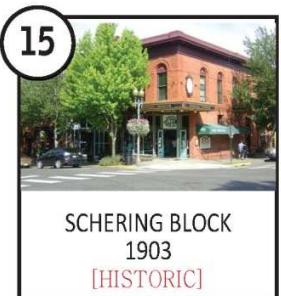
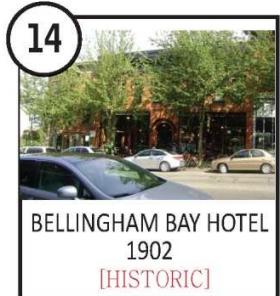
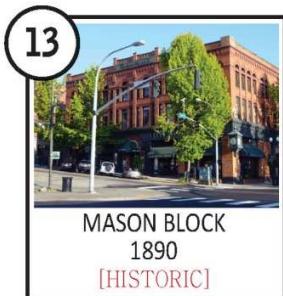
Figure xx . The Terminal Building at xxx Harris Avenue, was, built in 1888 and is one of the oldest buildings in the Historic District..



Figure xx . Village Books Building, xxx 11th Street, built in 2004. Example of new construction that satisfies the site and building design policies for the Historic District DRA. The building is evocative of its own time but does not clash with neighboring buildings.

Figure xx. Overview of historic and new buildings in the Historic District Design Review Area





2. Historic Influence Design Review Area

Underlying Zoning: Commercial

Description: The Historic Influence DRA generally follows the outer boundaries of the Commercial Core land use zone. It frames the Historic District DRA and provides a transition to the adjacent industrial and residential areas.

The Historic Influence DRA consists of recently developed sites with new multi-story mixed-use buildings, several vacant lots currently used as surface parking, and a number of historic resources, mainly single-family forms built during the turn of the 20th century, many which merit preservation and some of which have been sensitively adapted for use as offices, commercial and retail uses. Numerous infill and redevelopment opportunities exist, as many sites are developed at a lower density than is permitted.

Emphasis in this DRA is on design principles that support a pedestrian-friendly environment and on preserving the context of the Historic District DRA. The Historic Influence DRA has undergone numerous building episodes since the founding of Fairhaven, represented by restaurants, gas stations and grocery stores remaining from and evocative of the 1950s, 60s, 70s, and 80s.



Figure xx. 12th Street Market Building, ___ 12th Street.
Example of new construction in the Historic Influence DRA that references the Historic District's materials, scale and features.

Policies for the Historic Influence DRA

1. Design new buildings that respond to and is compatible with the historic context.
2. Allow creativity of design while maintaining high standards for materials, scale, workmanship, and compatibility.
3. Design new buildings that reference buildings in the Historic District DRA.
4. Create a mixed-use area with predominantly retail storefront uses at the sidewalk edge
5. List eligible buildings on the National, State, and/or Local Historic Registers.
6. Preserve, adaptively reuse, or as a last resort, document and relocate historic buildings.
7. Replace incompatible alterations to historic buildings with more accurate and/ or compatible improvements.



Figure xx. Adaptively reused single-family house at xx 12th Street.
Pictured above is one of a number of single-family houses built in the early 20th century that remain in the Historic Influence DRA. Individually eligible for the Local, and potentially the State and National Historic Registers, this building and the adjacent single-family home have been adaptively reused as a commercial business and offices.

3. Industrial Influence Design Review Area

Underlying Zoning: Industrial, Marine Conservancy; and Industrial

Description: The Industrial Influence DRA includes the two Industrial Zones, and provides a transition between the commercial zone above the bluff and the Maritime Influence Area. It includes industrial uses, but also allows retail and professional offices. Buildings and structures in the Industrial Influence DRA contain a mix of adaptively used historic buildings, industrial warehouses, and newer development that reflects the historic character of the earlier warehouse / working district from Fairhaven's past.

The standards for the Industrial Influence DRA draw upon the area's industrial heritage for building types, forms, materials, and site design. Design standards for new development in this DRA are determined by use -- design requirements are less stringent for industrial use buildings than for those built for commercial uses.

Regardless of use, design of new buildings in this DRA are required to create a pedestrian-oriented street edge.

Policies for the Industrial Influence DRA

1. Design review is required for new buildings that are non-industrial in use.
2. Standards for new commercial buildings may reference industrial era while maintaining a high quality and standard for materials, form, scale, massing, workmanship and compatibility.
3. Emphasis is on providing a pedestrian-friendly street edge between (potentially) industrial use buildings and pedestrians.
4. Preserve, adaptively reuse and list eligible historic buildings on the Local, State and/or National Historic Registers.



Figure xx . The Industrial Influence DRA has several historic buildings. Pictured above are 212 and 210 McKenzie, built circa 1948 and currently used by local manufacturing businesses.



Figure xx . The former Pacific American Fisheries office, built circa 1928, was rehabilitated and provides a new use as the Amtrak Terminal.



Figure xx . Cascade Joinery Building at xx Harris Ave.

4. Maritime Influence Design Review Area

Underlying Zoning: Marine Industrial.

Description: Fairhaven's Maritime Influence DRA remains an active working waterfront and contains industrial marine-related uses, as well as tourism-related commercial uses.

In 2011 it was dominated by small boat building and repair operations. The Port of Bellingham maintains at Fairhaven its "South Terminal", a deep-water facility in a protected location accessible by truck and railroad which has potential for handling containerized cargo. Much of the commercial development which earlier in the century was nearly continuous along the west end of Harris Avenue to the waterfront has been razed, and the cleared land remains vacant.

The standards for the Maritime Influence DRA draw upon the area's industrial heritage for building types, forms, materials, and site design. As in the Industrial Influence DRA, design standards for new development are determined by use -- design requirements are less stringent for industrial use buildings than for those built for commercial uses.

Regardless of use, design of new buildings in this DRA are required to create a pedestrian-oriented street edge.

Policies for the Maritime Influence DRA

1. Design review is required for new buildings that are non-industrial in use.
2. Standards for new commercial buildings may reference industrial era while maintaining a high quality and standard for materials, form, scale, massing, workmanship and compatibility.
3. Emphasis is on providing a pedestrian-friendly street edge between (potentially) industrial use buildings and pedestrians.
4. Standards require that public access via sidewalks, walkways, driveways, etc., must be pedestrian-friendly and have a consistent character.
5. Preserve, adaptively reuse and list eligible historic buildings on the Local, State and/or National Historic Registers.
6. To the extent feasible, new development should maintain views to the bay.



Figure xx. Former xx building located in the Maritime Influence DRA. Several historic buildings remain in the Maritime Influence DRA.



Figure xx . T he Bellingham Cruise Terminal at xx Harris Avenue provides an example of new construction that references Fairhaven's maritime industrial past, while providing good pedestrian connections.

DRAFT 12/21/11

CHAPTER 3
NEW CONSTRUCTION AND ALTERATIONS

CHAPTER 3: NEW CONSTRUCTION AND ALTERATIONS

A. Applicability.

Standards in this chapter apply to all new construction, and to the alterations of buildings that are non-contributing within the Historic District DRA, or non-historic buildings in the remaining DRAs.

Unless specified, standards apply to all four DRAs, which are abbreviated as follows:

HD: Historic District
HI: Historic Influence
II: Industrial Influence
MI: Maritime Influence

B. Departures.

The Planning & Community Development Director may approve departures from the design standards. All requests for departures shall be identified in the application and reviewed following the process in **BMC XX**. A departure may only be allowed if the Director determines that the applicant has demonstrated that an alternative design will provide an equal or better solution than:

1. Meets the intent of the standard;
2. Enhances the character and livability of the urban village;
3. Enhances the character and environment for pedestrians;
4. Enhances or protects the character of the neighborhood or vicinity by protecting natural features, historic sites, open space, or other resources; and
5. Will not have any substantial detrimental effect on nearby properties and the City or the neighborhood.

C. Specific Standards.

1. Site Plan Design

a. Building Orientation

Intent: *Maintain the traditional orientation of the primary entrance toward the street.*

Standard: Locate the primary entrance of commercial buildings to face the street.

For **Industrial Use** developments in the II & MI DRAs, the primary entry to any portion of an industrial building that houses a commercial or office use shall face the street. Industrial functions of these new buildings may be oriented internally to the site, forming clusters.

Standard: Buildings shall have a clearly defined primary entrance. For commercial buildings, this includes a recessed entryway.

Guideline: The front door may be positioned perpendicular to the street. In this case, the entry should still be clearly defined with a walkway, porch, stoop, canopy, and / or recessed entry.

Intent: Avoid the “back of building affect” on public open spaces.

Standard: Buildings adjacent to public open spaces such as public parks, plazas, pedestrian walkways, and trails shall be oriented toward the public spaces to promote activity and interaction, and provide visual interest to and from buildings.

Guideline: Locate some ground level features such as entries, windows, decks, patios or similar features on buildings that are adjacent to a public open space.

b. Ground Floor Details / Street-level Interest

Buildings in and directly adjacent to the HD DRA contribute to a strong “building wall” edge because they align at the front lot line and are usually built out to the full width of the parcel. Although small gaps do occur between some structures, these are the exception.

Intent: Provide a pedestrian-friendly street edge by maintaining strong alignment and traditional uninterrupted character of the commercial “building wall” edge.



Figure xx. 10th and Harris.

Standard: In the HD and HI DRAs, the building shall be aligned at sidewalk edge, with some allowance for courtyards as specified below.

Standard: Courtyards, dining areas and plazas are encouraged, but to maintain the continuity of the commercial street wall, no more than 25% in the HD, and 35% in the HI of a building front shall be set back from the sidewalk edge. use landscape elements to define the sidewalk edge.

Guideline: In the II and MI DRAs, a larger percentage of building set back shall be considered.

Standard: Courtyards and open spaces shall be linked to the sidewalk and/or pedestrian walkways.

Intent: For **Industrial Use** developments in the II and MI DRAs, provide a pedestrian-friendly street edge, but not necessarily with buildings. Landscaped edges are also appropriate

Standard: For industrial use buildings in the II and MI DRAs, provide pedestrian-scale interest at the street face or other public right-of-way by incorporating at least two elements from the following list:

- a. Divide buildings into individual 50'-wide units along the street face;
- b. Create a green wall on at least 50% of street-facing facades;
- c. Set building back from property line at least 10' and install landscaping (planting plan to be approved by City);
- d. Public art such as sculpture, mural, etc.;
- e. Modulate building face every 50';
- f. Use darker hues, more subdued paint colors for walls, trim;

- g. Provide at least 25% glass along the street face, allowing views into building activities
- h. Canopy or awning; or
- i. Other element that meets the intent

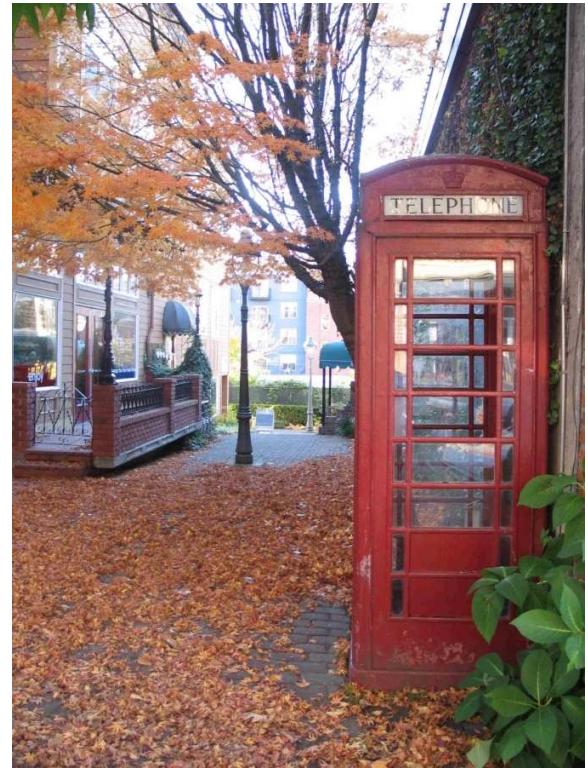
c. Pedestrian Connectivity

Intent: Promote pedestrian activity by providing pleasant and safe mid-block walkways.

Standard: On larger footprint developments over **XX' long**, pedestrian walkways shall be provided to public sidewalks, streets and/or paths. These walkways shall be open to the sky and no less than 15' wide.

Guideline: Use pedestrian walkways to provide variation in site plans and building profiles, and to provide views through blocks.

Guideline: Provide connections to public streets and paths through large lots. Promote interconnections between blocks with paths and trails that connect compatible functions or neighborhoods.



Standard: In the MI DRA, provide for pedestrian connections from the street to the ferry, boat launch, and other public areas.

2. Building Design

a. Commercial Facade Character

The street level of a typical historic commercial building in Fairhaven is clearly distinguishable from the upper floors. The first floor is predominantly made of fixed plate glass with a small percentage of opaque framing materials, a kickplate and a recessed entry. An upper floor, where it occurs, is the reverse—opaque materials dominate, and windows appear as smaller openings puncturing a more solid wall. Upper floor windows are usually double-hung. The street level also appears taller than the upper floors. A historic storefront of 12' to 14' high is typical, whereas a second floor is usually 10' to 12'.

Intent: New construction references traditional storefront proportions and incorporates these building components into new storefront design.

Standard: Storefront components and upper story windows shall relate to the height and proportion of adjacent historic buildings.

Standard: In the HD and HI DRAs, include a kickplate, display window and transom in new commercial storefront design.

b. Commercial Street Frontage

Intent: Reinforce pedestrian activity, orientation to ground floor activities and enhance the liveliness of the street. Along the pedestrian-oriented commercial streets identified in **Figure XX**, street front uses should support commercial activity and provide opportunities for visual or interactive links between businesses and pedestrians.



Standard: Along those streets identified in **Figure XX**, ground floor commercial space (including retail, service, office, government, or similar non-residential uses) shall be provided along the full building street front for a depth of at least 20' measured from the front face of the building. Lobbies for residential uses and hotels, and parking garage entries are exempt from this provision. Hotel/motel guest rooms, dwelling units and structured parking shall not qualify as commercial space.

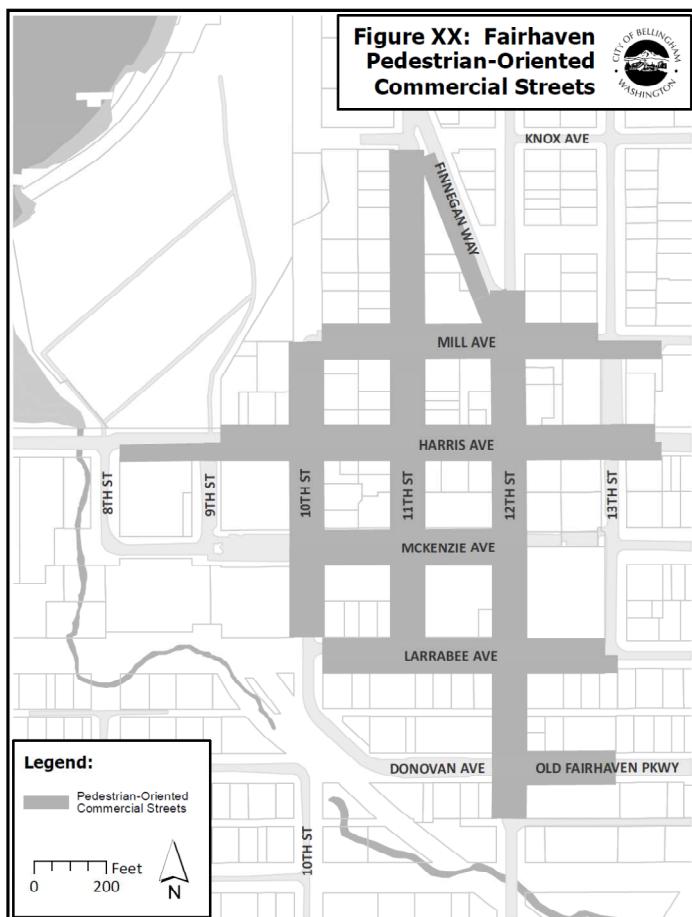


Figure XX: Map identifying Pedestrian Oriented Commercial Streets

Windows

Intent: *The repetition of evenly spaced, similarly sized upper story windows creates a pattern along the street, and gives a building a sense of human scale—even in multi-story buildings.*

Standard: Maintain the traditional spacing pattern created by upper story windows in adjacent historic commercial buildings.

Guideline: Windows, lintels and trim elements should align with those on adjacent historic buildings.



Intent: *Historic commercial buildings typically have upper story windows that are twice as tall as they are wide.*

Standard: In the HD and HI DRAs, upper story windows shall be at least twice as tall as they are wide. Shape and orientation shall align.

Guideline: Upper story windows in new construction should relate to historical window proportions as they appear in the HD. Use traditional proportions of windows, individually or in groups. Headers and sills of windows on new buildings should maintain the traditional placement relative to cornices and belt courses.

Standard: In the HD and HI DRAs, solid-to-void percentages shall be similar to adjacent historic buildings.

Guideline: For **Industrial Use** buildings in the II and MI DRAs, both wood and industrial-style metal multi-paned windows (or an interpretation of these) are appropriate. ([image](#))

Intent: *In the HD and HI DRAs, maintain a distinction between the street level and the upper floor.*

Standard: The first floor of the primary facade shall be predominantly transparent glass. Highly reflective or darkly tinted glass shall not be used.

Standard: Distinction in floor heights shall be made between the street level and upper levels by using detailing, a belt course, or differing materials and fenestration.

c. Entries

Intent: *The repetition of recessed entries provides a rhythm of shadows along the street, which helps establish a sense of scale and invites pedestrians in.*

Standard: In the HD and HI DRAs, the pattern created by recessed entryways along the street shall be maintained.

Guideline: In the HD and HI DRAs, building entrances should appear similar to those used historically. Contemporary

interpretations of building entries similar in scale and overall character to those seen historically are appropriate.

Guideline: In the HD and HI DRAs, on commercial buildings, set a primary entry door back an adequate amount from the front facade to establish a distinct threshold for pedestrians. A recessed dimension of 4' is typical.

Guideline: In the HD and HI DRAs, where entries are recessed, the building line at the sidewalk edge should be maintained by the upper floor(s).

Guideline: In the HD and HI DRAs, use a transom over a doorway to maintain the full vertical height of the storefront.

Standard: Primary building entrances shall be at street level. A sunken terrace entrance is not appropriate as the primary access from the street.

Guideline: Entrances should connect the interior of the building to the street, and provide a transition from the street to interior.

Standard: If entrances are recessed from the outermost building façade, they must be clearly marked and identified with elements such as lighting, trellises, canopies, architectural elements and signage.

d. Architectural Character

Intent: *Design new buildings and alterations so that the character of adjacent historic buildings remains dominant, creating a sense of visual continuity in architectural materials, scale, and forms.*

Standard: In the HD and HI DRAs, new construction shall relate to adjacent historic buildings. A new building shall be compatible with the adjacent historically significant buildings, yet reflect its own time.

Guideline: New construction should appear as a product of its own time, but reference neighboring historic buildings through use of materials, scale, massing and details. In the HI DRA, a broader range of architectural styles and forms can be referenced than in the HD DRA. .



Guideline: New interpretations of traditional building styles that express contemporary architectural trends are encouraged.

Guideline: To maintain the distinction between new and old buildings, the exact imitation of historic styles in new construction is discouraged.

Standard: Key features of traditional commercial buildings shall be referenced in new construction in the HI DRA when a new building is directly adjacent to the HD DRA.

Guideline: Use parapets and cornices to relate to historic commercial building features and create a human sense of scale.

Standard: Solid-to-void ratios in the II, MI, and parts of the HI DRAs allow a higher percentage of glass on upper stories.

Intent: *In the II and MI DRAs, new interpretations of traditional utilitarian building types are encouraged.*

Guideline: Design new **Commercial Use** buildings to reflect the mass and scale of traditional utilitarian buildings.

Guideline: New industrial building designs should use interpretations of traditional architectural features. Simplicity in design, including forms, materials and details, is encouraged.

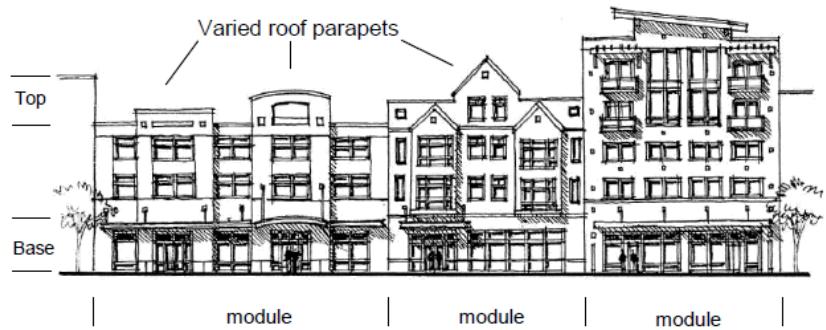
Guideline: Provide continuity of materials and a balanced solid-to-void ratio.

e. Massing and Articulation

Traditionally, commercial buildings had varied heights, articulated masses, visually interesting skylines and pedestrian-scaled street fronts. New buildings should continue to provide a variety of pedestrian-friendly scale and visually-appealing mass. Buildings should not be monolithic in scale or greatly contrast with those seen traditionally in Fairhaven. A sense of human scale can be obtained by using building material of a familiar dimension, such as traditional brick.

Intent: *While building heights vary, most buildings in the HD DRA have features at the lower levels that are similar in scale. For example, first floors are similar in height, with upper stories being defined by moldings that align along the block, contributing to a perceived uniformity in height to pedestrians.*

In and directly adjacent to the HD DRA, maintain the traditional size of buildings as perceived at the street level.



Standard: Horizontal elements such as window sills, moldings and mid-belt cornices shall be aligned with and relate to historic buildings along the block.

Guideline: Provide variety in the profile of buildings at the street edge. Portions of the building face should step back from the street to provide variety in scale.

Standard: On the exterior of buildings, floor-to-floor heights and windows shall appear similar to those of traditional buildings in Fairhaven, especially at ground level.

Standard: In and directly adjacent to the HD DRA, a new building facade shall reflect the established range of the traditional building widths seen in Fairhaven.

Intent: *Traditionally, commercial building facades were composed of three basic elements – a base, middle and cap.*

Standard: New commercial buildings in or directly adjacent to the HD DRA shall have a base, middle and cap composition. Roof parapets and eaves shall vary in height to avoid long, straight lines at the maximum building heights. (image)

Intent: *Taller portions of new buildings allow for light and air to reach neighboring buildings of smaller scale.*

Standard: Taller portions of new buildings shall be located so as to minimize looming effects and shading of lower-scaled neighboring buildings.

Intent: *Establish a sense of human scale in the building design.*

Standard: New buildings in and directly adjacent to the HD DRA shall be similar to the traditional scale of historic buildings.

Guideline: Use vertical and horizontal articulation to reduce the apparent scale of a large building.

Guideline: Incorporate changes in color, texture and materials to help define human scale. Use architectural details to create visual interest.

Guideline: Use materials that help to convey scale through their proportion, detail and form.

Guideline: In and directly adjacent to the HD DRA, maintain proportion and scale to adjacent historic buildings. Maintain sense of street in proportion to the historic context of new construction, be it a commercial or residential form.

Intent: *In the HD and HI DRAs, reflect the underlying lot pattern in the articulation of building facades.*

Standard: Building massing should vary along the street within an individual project that exceeds a specified threshold of more than $\frac{1}{4}$ block.

Guideline: Massing of building modules should be similar to historic buildings (25', 50' or 100' long).

Guideline: A rectangular form should be dominant on a commercial façade and appear as a flat surface, with any decorative

elements and projecting or setback “articulations” appearing to be subordinate to the dominant form.

Guideline: Vary height of buildings along the sidewalk edge in large projects. Allow additional height with step back at taller floors to maintain pedestrian-friendly scale, to relate to adjacent historic buildings and to help maintain public view corridors..

Guideline: Use architectural details that create visual interest and convey a three-dimensional facade.

Guideline: Provide stepped building forms (modules) for a mixed-use type when located on a slope.

Guideline: Provide variety in the profile of buildings at the street edge with wall articulation

Intent: *Roof forms should relate to the context of surrounding buildings.*

Standard: In and adjacent to the HD DRA, roofs shall be of the traditional flat, commercial building type.

Standard: In all DRAs outside and not directly adjacent to the HD DRA, a mix of roof forms is permitted. , but a broader range of forms is appropriate in the II, MI, and portions of the HI.

Intent: *For new **Industrial Use** buildings in the II and MI DRAs, simple forms are appropriate, as are those with varied massing.*

Guideline: Buildings are viewed as independent forms, not necessarily aligned.

Guideline: Building massing may vary, depending on use needs. Free-standing buildings are encouraged to break up mass.

Guideline: Preferred character is historic industrial forms that incorporate sloped roofs, canopies, loading docks, etc. A mix of roof forms is appropriate as are sloped roofs. Building shape may vary, but is predominantly rectangular.

g. Building Materials

Intent: *Building materials for new structures and additions to existing buildings contribute to the visual continuity of the neighborhood, and should appear similar to those traditionally used in Fairhaven—primarily wood, brick and stone.*

Standard: Building materials in and directly adjacent to the HD DRA shall be primarily brick or stone. Stucco, wood and metal may be used in subordinate proportions to masonry. Brick should have a similar modular dimension to that of historic buildings.

Guideline: Traditionally, wood materials were used in the single-family forms in the HI DRA. Unless directly adjacent to the HD DRA, use of wood for new construction may be appropriate.

Guideline: Industrial materials such as metal, brick and heavy timber are appropriate in the II and MI DRAs.

Guideline: Wood and metal were traditionally used for window, door and storefront surrounds and are encouraged in new construction.



Guideline: Simple material finishes should be used for large expanses of wall plane. Matte finishes or finishes with a low level of reflectivity are preferred. For example, polished stone should not be used as a primary material.

Guideline: New materials will be considered on a case-by-case basis. If used, they should appear similar in character to those used historically. For example, stucco, cast stone or concrete should be detailed to a human scale.

Guideline: New materials should have a demonstrated durability in the Bellingham climate.

Standard: Mirrored glass shall not be used.

Standard: Imitation or synthetic materials, such as aluminum or vinyl siding, imitation brick or imitation stone and plastic, are inappropriate.

Guideline: Alternative materials should appear similar in scale, proportion, texture and finish to those used traditionally.

DRAFT

CHAPTER 4
ALL PROJECTS

CHAPTER 4: ALL PROJECTS

A. Applicability.

Standards in this chapter apply to all projects in the Fairhaven Design Review District and provide direction for screening, parking, lighting, and other features. These guidelines apply to changes to historic buildings, new construction, at to other type of improvements.

Unless specified, standards apply to all four DRAs, which are abbreviated as follows:

- HD: Historic District
- HI: Historic Influence
- II: Industrial Influence
- MI: Maritime Influence

B. Departures.

The Planning & Community Development Director may approve departures from design standards. All requests for departures shall be identified in the application and reviewed following the process in **BMC XX**. A departure may only be allowed if the Director determines that the applicant has demonstrated that an alternative design will provide an equal or better solution that:

1. Meets the intent of the standard;
2. Enhances the character and livability of the urban village;
3. Enhances the character and environment for pedestrians;
4. Enhances or protects the character of the neighborhood or vicinity by protecting natural features, historic sites, open space, or other resources; and
5. Will not have any substantial detrimental effect on nearby properties and the City or the neighborhood.

C. Specific Standards.

1. Connectivity

Convenient vehicular, pedestrian and bicycle access should be provided among properties to achieve a sense of being integrated into a coherent neighborhood and to reduce automobile impacts.

Intent: *Retain the network of streets, alleys, and pedestrian walkways.*

Standard: The existing network of streets, alleys, and walkways shall be retained for maximum access and as public circulation space, and shall not be closed to public access.

2. Outdoor Amenity Space

Outdoor amenity space is a characteristic of the community. This space occurs as an accent along the street in several conditions: as a front yard on a residential site, as an outdoor dining area, as a small plaza or private courtyard. The character and setting of the site or a historic building influences the form, location, or appropriateness of such a space.

Standard: Outdoor amenity space shall meet all of the following requirements:

- a. Be open to the sky;
- b. Be paved or otherwise landscaped;
- c. Remain subordinate to the line of building fronts, as described in Chapter 3: New Construction and Alterations.

3. Terraces, Patios & Deck Space

Improvements that provide areas for active outdoor use (i.e., dining) are welcomed amenities, but they must be in character with Fairhaven.

Standard: At-grade, or raised dining areas (such as a deck), shall be located so as to minimize visual impacts on the streetscape.

Guideline: Maximize the pedestrian experience by placing dining areas at-grade.

Standard: Projecting/cantilevered decks are prohibited in most settings. However, they may be allowed on the rear of the building if they do not impact neighboring historic properties.

Standard: Rooftop decks shall be set back from the building facade.

4. Site Furnishings

Site furnishings, such as transit stops, bike racks, and similar features are welcome amenities and should be integrated into the urban environment.

Intent: Strategically locate site furnishings to serve as accent to a streetscape, plaza, park or other public area.

Guideline: The use of site furnishings is encouraged. Incorporate site furnishings to complement the context and character of the building, site and/or streetscape.

Guideline: In the HD and HI DRAs, street furniture and street lights should be historically influenced, but simplified in design. In the II and MI DRAs, street furniture, lighting, etc. should reflect simple industrial character and design.

5. Parking

Minimize the visual impact of surface and structured parking. On-site parking should be subordinate to all other uses. Design new parking facilities to be attractive, compatible additions to Fairhaven thorough the use of high quality material, undergrounding parking, and by providing active uses and landscaping at the sidewalk edge.

Intent: Minimize the visual impacts of existing and new surface parking lots as seen from the street.

Standard: Parking shall be located internal to building or parcel with minimal exposure to the street. Choose from the following options:

- a. Screen existing parking areas with other uses, architectural elements and/or landscaping; or
- b. Locate at grade, and screened with other uses; or
- c. Locate at grade, and screened with architectural elements or landscaping; or
- d. Locate underground.

Guideline: Parking garage ventilation in the sidewalk is not appropriate.

Standard: Parking driveways shall be located to avoid high pedestrian traffic streets. be designed to. Parking entrances shall be designed to maximize pedestrian safety by maintaining the sidewalk grade and edge; by maximizing pedestrian visibility;

and by incorporating safety features such as signals, mirrors, and differentiated paving.

Standard: Locate a parking area at the rear or to the side of a site or building, or to the interior of the block. Do not place parking between a building and street, or at intersections. This is especially important on corner properties, which are generally more visible than interior lots, serve as landmarks, and provide a sense of enclosure to an intersection.

Guideline: Where parking facilities interrupt the pattern of building facades on the street, the entry creating the break in the façade shall be minimized. Site a surface lot so as to minimize gaps in the continuous building wall of a commercial block.

Intent: *Reduce the visual impacts of structured parking on public streets, public open spaces and residential zones. Provide a visual buffer where a parking lot abuts a public sidewalk.*

Standard: A 2.5' to 3.5' wall or evergreen hedge is required along the street frontage of any street level open parking lot. Open trellis work or similar features that can be seen through may extend above the wall. Materials shall be compatible with those of nearby buildings. Include street trees with canopies above pedestrian height. Planting beds shall be at least 5' wide.

Standard: Visually screen parking lots from abutting residential zoned areas. Provide wood or masonry fences to prevent headlights from shining into residences. Chain link fencing with slats is not an acceptable screen.

Standard: Parking lots abutting an alley shall have alley only access.

Standard: Structured parking levels that are adjacent to a public street or open space, or a residential zone shall be screened or treated architecturally by window openings, landscaping designed to screen the facade, decorative meter grills, and/or other approved devices that meet the intent. They shall not be visible from pedestrian commercial streets (see **Figure XX** on **page xx**).

Intent: *Provide well-lit and convenient pedestrian access to parking facilities.*

Standard: Where new or renovated parking facilities interrupt existing patterns of pedestrian circulation, provide safe pedestrian routes through the site.

Guideline: Maintain strong emphasis on the pedestrian environment at the sidewalk crossing of parking access points.

Guideline: Design a parking facility with quick access and clear, separate pedestrian routes to the outside

Guideline: Plan interior and exterior lighting to assure user safety.

Intent: *Consider Low-Impact Development (LID) techniques when designing parking facilities and select hardscape surface materials that help control stormwater generation and improve aesthetics where feasible.*

Guideline: Use porous pavement surfaces such as grass pavers, permeable interlocking concrete pavers, and/or reinforced gravel developed to allow stormwater infiltration.

6. Buffers

Intent: When site development such as storage, and equipment areas, creates an unavoidable negative visual impact on abutting properties or to the public way, it should be mitigated with landscaping or a screen wall to buffer or screen it. The design should complement the existing natural character and context of the site.

Standard: A visual buffer shall be provided along the edge of a service area by incorporating an evergreen landscape buffer or screen wall by ground-mounted mechanical equipment, service and/or storage areas.

7. Site Lighting

Also see BMC XX for Lighting development regulations.

The light level at the property line is a key design consideration and is affected by the number of fixtures, their mounting height, and the lumens emitted per fixture. It is also affected by the screening and design of the fixture.

Intent: Shield fixtures to minimize light spill onto adjacent properties and into the night sky.

Standard: Shield lighting to prevent off-site glare. Light fixtures shall incorporate cut-off shields to direct light downward.

Standard: Provide lighting for a pedestrian walk way that is scaled to walking.

Guideline: Mount lights for pedestrian ways on short poles or use light posts (bollards).

Standard: The design of light fixtures shall be in character with the setting and shall reference architectural and site design elements.

8. Building Lighting

Also see BMC XX development regulations.

The character and level of lighting that is used on a building is of special concern. Traditionally, exterior lights were simple in character and were used to highlight signs, entrances, and first-floor details. Most fixtures had incandescent lamps that cast a color similar to daylight, were relatively low intensity and were shielded with simple shade devices. Although new lamp types may be considered, the overall effect of modest, focused, building light should be continued.

Intent: Use lighting to accent building entrances and architectural details, and to illuminate sidewalks and signs.

Standard: Minimize the visual impacts of architectural lighting. Use shielded and focused light sources to prevent glare.

Guideline: Provide shielded and focused light sources that direct light downward.

Guideline: Shield lighting associated with service areas, parking lots and parking structures.



Guideline: Use lighting fixtures that are appropriate to the building and its surroundings in terms of style, scale and intensity of illumination.

Standard: When installing architectural lighting on a historic building, existing documentation shall be used as a basis for the new design. If no evidence exists, use a contemporary light fixture that references the building's style.

Standard: Building lighting shall be installed so as not to damage the historic fabric of the building and should be reversible.

Guideline: New lighting on historic buildings should attach to the mortar between bricks, or to modern building materials.

9. Awnings and Canopies

Historically, cloth awnings were common in Fairhaven's commercial buildings. Awnings promote sidewalk activity and serve to protect pedestrians from the weather, especially at entrances.

Intent: Integrate awnings into the building design.

Standard: Along the pedestrian-oriented commercial streets identified in **Figure XX-X**, buildings shall provide pedestrian weather protection over at least a 4' width of sidewalk along at least 75% of the street level frontage. Adjustments to accommodate trees or other overhead objects are allowed.



Standard: Materials shall be limited to metal and fabric in the Historic District and Historic Influence DRAs. Additionally, glass, Plexiglas or equivalent "hard" durable materials may be used in the Industrial and Maritime Influence areas.

Intent: Operable awnings and fixed metal types are both appropriate. ([image](#))

Standard: An awning or canopy shall be in scale with the building and streetscape.

Guideline: Mount an awning or canopy to accentuate character-defining features. The awning or canopy should fit in the opening of the building.

Guideline: Awnings should not hide character-defining features, and should be mounted to highlight moldings that may be found above the storefront window.

Standard: Oddly shaped, bullnose, and bubble awnings prohibited, as are non-opaque awning material illuminated in such a way as to cause the awning to glow. Simple shed-shaped awnings are appropriate for rectangular openings

Guideline: Internal illumination of an awning is inappropriate, but light fixtures that shed light down onto walkways and features below the awning are permitted.

Guideline: When used, awnings should remain a subordinate feature on the facade.

Guideline: Operable awnings are encouraged – these are an energy efficient mechanism for managing interior light and air.

Guideline: Appropriate supporting mechanisms for metal awnings include wall-mounted brackets and chains consistent with the style of the building.

10. Mechanical and Electrical Building Equipment

Intent: *Mechanical equipment should not detract from the appearance of the building. Minimize the visual impacts of mechanical and electrical equipment on the public way, public views, and the surrounding neighborhood.*

Standard: Mechanical and electrical building equipment shall be screened from view. Junction boxes, external fire connections, telecommunication devices, cables, conduits, satellite dishes, HVAC equipment, meters, vents, and fans affect the character of a property. These and similar equipment devices shall be screened or camouflaged from public view.

Standard: Larger equipment, such as window air-conditioning units or satellite dishes, shall not be located on a building's primary façade. Locate larger equipment out of public view.

Standard: Low-profile or recessed mechanical units shall be used on rooftops, and should not be visible from adjacent sidewalks.

Standard: Screen mechanical equipment by extending the parapet walls or other roof forms that are integrated with the architecture of the building to a height that equals or exceeds the height of the mechanical equipment.

Guideline: Minimize the visual impacts of utility lines, junction boxes and similar equipment using the following options:

- a. Locate utility lines and junction boxes on secondary and tertiary walls, and group them.
- b. Group lines in conduit.
- c. Paint these elements to match the existing background color.
- d. Locate utility pedestals (ground mounted) to the rear or interior side of the building.

11. Service Areas

Service areas should be visually unobtrusive and integrated with the design of the site and the building.

Intent: *Reduce the impact and view of service entrances, waste disposal, trash and recycling storage areas and other similar uses.*

Standard: Trash storage areas shall be placed in a building or enclosed in a structure that is of similar architectural character of the major structures on the site.

Guideline: Minimize noise impacts by locating sources of offensive sounds away from other uses.

Guideline: Locate service entrances, waste disposal areas and other similar uses toward service lanes and away from major streets, major pedestrian routes and residentially zoned areas. Pedestrian walkways may accommodate these uses.

Standard: Screen a service entrance with a wall, fence or planting. A service area screen should be in character with the building and site it serves.

Guideline: Place mostly solid gates on trash storage areas to further diminish their visual impact. They may be raised 1' or 2' off the ground to promote visibility.

Guideline: Locate refuse storage to the rear of the site and away from major pedestrian walkways.

Standard: Refuse containment areas shall be placed in a building or enclosed in a structure that is of similar architectural character of the major structures on the site.

12. Signage

See development regulations in BMC XX

CHAPTER 5
HISTORIC BUILDINGS – REHABILITATION AND TREATMENT

CHAPTER 5: HISTORIC BUILDINGS – REHABILITATION AND TREATMENT²

A. Applicability

The guidelines presented in this chapter provide the basis for decisions regarding the appropriate treatment of historic resources. are to be used when evaluating the appropriateness of a proposed improvement project on a historic building. Guidelines are mandatory for historic “contributing” buildings in the Historic District DRA, and for buildings listed on the Bellingham Local Historic Register. The guidelines are recommended for other buildings that are eligible for listing on the Local, State or National Historic Registers.

The first section of this chapter contains general guidelines for treatment of many of the key features that are found on commercial building types. The second section presents guidance for residential building types, addressing features unique to these specific building forms and uses.

The third section addresses special considerations for historic buildings. Some of these may apply to any historic property; others are unique to specific property types. This section also covers how compatible additions can be made to historic buildings.

B. Departures.

The Planning & Community Development Director may approve departures from the design standards. All requests for departures shall be identified in the application and reviewed following the process in **BMC XX**. A departure may only be allowed if the Director determines that the applicant has demonstrated that an alternative design will provide an equal or better solution that:

6. Meets the intent of the standard;
7. Enhances the character and livability of the urban village;
8. Enhances the character and environment for pedestrians;
9. Enhances or protects the character of the neighborhood or vicinity by protecting natural features, historic sites, open space, or other resources; and
10. Will not have any substantial detrimental effect on nearby properties and the City or the neighborhood.



Figure xx . Example of a well-preserved character-defining architectural features on the cornice and parapet of the 1890 Monahan Building, 1209 11th Street in the Fairhaven Historic District.

² **NOTE:**

The standards and guidelines presented in this chapter were written with the understanding that owners of historic contributing properties in the Fairhaven Historic District Design Review Area (DRA) may wish to nominate the district to the Bellingham Local Historic Register (BLHR).

Because this action has only yet been proposed as policy, most language in this chapter may be considered as Guidelines (recommendations), rather than as Standards (requirements).

City staff will work with owners of historic contributing properties in the Fairhaven Historic District DRA to inform them of the benefits and controls related to listing on the BLHR, and if determined to be desirable, will assist them with the nomination process.

If listed on the BLHR, some of the guidelines in this chapter, as applied to the Fairhaven Historic District DRA, may be altered and converted to standards,. Property owners will be given ample opportunity to provide input.

DRAFT 12/21/11

C. Architectural Details - Overview of Treatments

Architectural details are the “character-defining features” that combine to tell the story of a building’s history. Details such as cornices, porches, turned columns, brackets, rafters, jigsaw ornament and other features give a building its personality.

In caring for a historic building, choose treatments that will maintain its significant features and architectural details, and require the least intervention.

1. Treatment: Preserve and Protect

Intent: Preserve significant architectural features.

Standard: Do not remove or alter architectural details that are in good condition or can be repaired.

Guideline: Employ preventive maintenance measures such as cleaning, rust removal, caulking and repainting.

Guideline: Avoid alterations that damage historic features, such as mounting a sign panel in a manner that causes decorative moldings to be damaged.

Guideline: Use appropriate procedures for cleaning, refinishing and repairing architectural details to maintain original finish.

Guideline: Use the gentlest means possible to achieve the desired results.

2. Treatment: Repair and Restore

Intent: Repair deteriorated features.

Standard: Do not remove a damaged feature that can be repaired -- repair rather than replace.

Guideline: Patch, piece-in, splice, consolidate or otherwise upgrade existing materials, using recognized preservation methods.

Guideline: Stabilize or fix isolated areas of damage using consolidants, such as epoxies and resins for wood repair.

Standard: When disassembly of a historic element is necessary for its repair, use methods that minimize damage.

Guideline: When removing a historic feature, document its location so it may be repositioned accurately, and safely store until re-installation.



Figure xx . Example of the deteriorated cornice and parapet on the Knights of Pythias Building, that would benefit from any of the four treatments.

3. Treatment: Rehabilitate

Intent: When repair of an element is not possible, develop a new design that is a compatible interpretation of the original feature.

Standard: The new element shall be similar to comparable features in general size, shape, texture, material and finish.

Guideline: If evidence is missing, use a simplified interpretation of similar elements.

4. Treatment: Reconstruct or Recreate

Intent: Accurately recreate / reconstruct architectural features that are missing or beyond repair.

Standard: Reconstruct the original element if adequate evidence exists. The design should be substantiated by physical or pictorial evidence to avoid creating a misrepresentation of the building's history.

Guideline: Reconstruct only those portions that are damaged beyond repair.

Guideline: Use the same material as the original. A substitute material may be acceptable if the size, shape, texture, durability, and finish will convey the appearance of the original. Alternative materials are more acceptable in locations that are remote from view or direct contact.

Guideline: Do not add details that were not part of the original building, such as decorative millwork to a building if it was not an original feature.

D. Standards for Historic Commercial Buildings³

1. Storefronts

The majority of historic commercial buildings in Fairhaven's Historic District have traditional components of historic storefronts.

Intent: Preserve storefront elements at the street level and do not obscure or remove.

Standard: When intact, preserve these character-defining elements on a commercial facade with a traditional storefront:

1. **Cornice molding:** A decorative band at the top of the building.
2. **Upper-story windows:** Windows located above the street level often have a vertical orientation.
3. **Mid-belt cornice:** A decorative band at the top of the first floor.
4. **Sign band:** A flat band running above the transoms to allow for the placement of signs.
5. **Transom:** The upper portion of the display window, separated by a frame.
6. **Display windows:** The main portion of glass on the storefront, where goods and services are displayed.
7. **Entry:** Usually set back from the sidewalk in a protected recess.
8. **Kickplate:** Found beneath the display window.

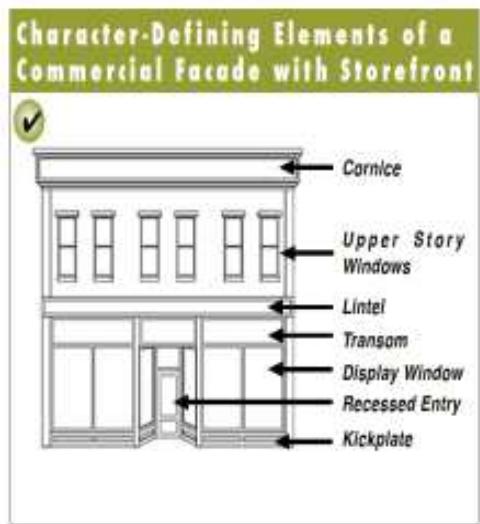
Intent: Restore an altered storefront to its original design and/or fenestration.

Guideline: Use historic photographs to determine the original character of a storefront.

Guideline: Where the historic facade is missing and no evidence of it exists, or a building's new use calls for an alternative design, create simplified designs that are contemporary interpretations of traditional storefronts.

Guideline: Maintain the glass in the display window and recessed entry.

Guideline: In some cases an original storefront may have been altered early in the history of the building and taken on its own significance. It may be appropriate to preserve such alterations.



³ The National Park Service's [Preservation Brief 11: Rehabilitating Historic Storefronts](#) provides additional information.

2. Cornices and Parapets

The repetition of cornice and parapets along the street contributes to the visual continuity of the block.

Intent: Preserve the character of the cornice line and parapet.

Guideline: Reconstruct a missing cornice when historic evidence is available. Use historic photographs to determine design details of the original cornice.

Guideline: A simplified interpretation is appropriate for a replacement cornice if evidence of the original is unavailable. Replacement elements should match the original, especially in overall size and profile.

3. Windows

Windows are important character-defining features in historic buildings and were built with well-seasoned wood that is superior to most new material.

Intent: Features important to the character of a window include its frame, sash, muntins, mullions, glazing, sills, heads, jambs, moldings, operation and groupings of windows.
(See Figure xx for illustration of window features.)

Standard: Preserve and repair the functional and decorative features of a historic window. Repair rather than replace historic frames and sashes.

Guideline: Rather than replacement, provide a lower-cost alternative by enhancing the energy efficiency of an existing historic window by:

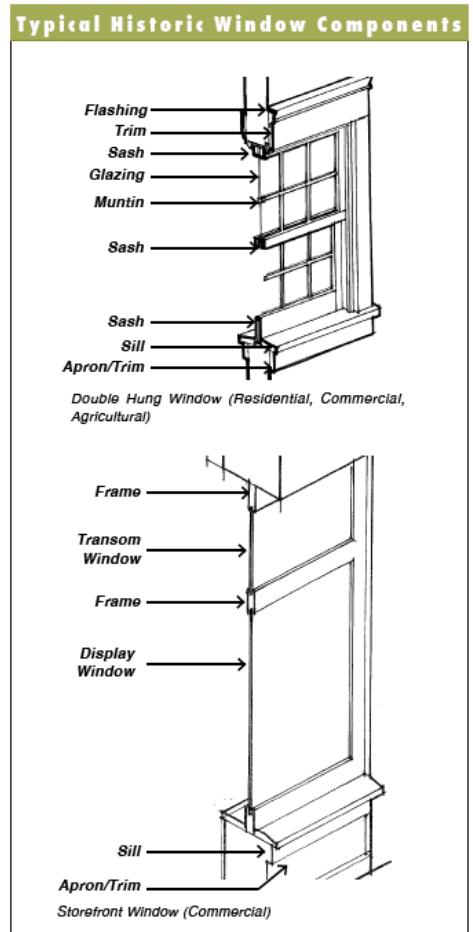
- Adding weather stripping and caulking around the window frame;
- Reglazing historic windows;
- Restoring by patching and splicing wood elements such as the muntins, frame, sill and casing; or
- Installing a storm window.

Intent: Preserve the position, size, number and arrangement of historic windows in a building wall.

Standard: On primary facades, do not enclose a historic window opening, or add a new opening.

Intent: If original windows are missing, replace with those that are in character with the historic building and are of like, or appear to be similar, materials to the original.

Standard: If the original was double-hung, the replacement window shall be double-hung or appear to be so. Match the replacement in the number and position of glass panes.



Standard: Use the same material as the original windows, especially on primary facades. A substitute material may be considered if the appearance of the window components match those of the original in dimension, profile and finish. Vinyl and unfinished metals are inappropriate replacement window materials and shall not be used.

Guideline: New glazing should convey the visual appearance of historic glazing, and should be clear. Transparent low-e type glass is appropriate, but metallic and reflective finishes are inappropriate.

Standard: Match the profile of the sash and its components to that of the original window.

Intent: Convey the character of historic sash divisions in a new window.

Standard: Muntins that divide a window into smaller panes of glass should be either genuine or simulated divided lights on key facades and other highly visible locations. Muntins should have a depth and shadow line similar to originals.

Guideline: Strips of material located between panes of glass to simulate muntins are not allowed.

4. Transoms

Transoms, the upper glass band of traditional storefronts, introduced light into the depths of the building.

Intent: Retain the original shape of the transom in a historic storefront.

Guideline: Transom bands should not be removed or enclosed.

Guideline: The transom shape is important to the proportion of the storefront and should be preserved in its historic configuration.

Guideline: If the original glass is missing, install new glass.

Guideline: If the transom must be blocked for use as a sign panel, retain the original proportions.

5. Entries

The repetition of recessed entries provides a rhythm of shadows along the street, which helps establish a sense of scale and identifies business entrances.

Intent: Maintain recessed entries where they exist.

Guideline: Restore the historic recessed entry if it has been altered.

Intent: Preserve the decorative and functional features of a primary entrance. These include the door, door frame, threshold, glass panes, paneling, hardware, detailing, transoms and flanking sidelights.

Standard: When a new door is needed, it should be in character with the building. This is especially important on primary facades. Do not change the position of an original front door.

Intent: Maintain the original proportions of a historically significant door.

Standard: Do not alter the original size and shape of a historic door.

Guideline: When replacing a door, use materials and design that appear similar to that of the original, or to a door associated with the building style.

6. Kickplates

A kickplate, also called a bulkhead, was a popular feature of most commercial buildings and should be preserved.

Intent: *Retain the kickplate as a decorative panel.*

Guideline: If the original kickplate is covered with another material, expose the original design.

Guideline: If the original kickplate is missing, develop a compatible replacement design. Wood is an appropriate material for a replacement on most styles -- alternative materials may be considered when appropriate to the building style.

E. Additions to Historic Commercial Buildings

1. Ground-level Additions to Historic Commercial Buildings.

Intent: *Expanding the footprint of a structure may become necessary. While some destruction of original materials is almost always a part of constructing an addition, such loss should be minimized.*

Standard: Design additions to be compatible in scale, materials and character with the main building.

Guideline: An addition's window sizes, placement, and alignment of trim elements should relate to those of the existing structure.

Guideline: An addition should appear subordinate to the main structure.

Guideline: Additions should be located to the rear or side of a building.

Guideline: An addition should relate to the historic building in mass, scale, character and form, yet be subtly distinguishable from the original building.

Guideline: Design an addition so that the historic character of the original building can still be interpreted. An addition should not damage or obscure architecturally important features

2. Additions of Balconies & Roof Decks to Historic Commercial Buildings

In most cases, adding elements not part of an original building is inappropriate. However, because they can enhance the adaptive reuse options for a commercial building, balconies and roof deck additions to historic commercial buildings may be considered.

Intent: *Design a balcony to be in character with the original building, yet simple in design.*

Standard: Balconies shall be placed on the side or rear of a property.

Standard: The balcony should appear mostly transparent. Achieve solid-to-void ratios with balusters and rails. Glass and plexiglass are not appropriate.

Guideline: Mount a balcony to accentuate character-defining features.

Guideline: Fit a balcony within existing openings.

Guideline: Balcony supports should align with existing building elements.

Standard: Balconies should be of simple design.

Guideline: Simple metal work is most appropriate on commercial buildings. In most cases dark metal matte finishes are appropriate.

Guideline: Simple wood and metal designs are appropriate for residential buildings.

Guideline: Heavy timber and plastics are inappropriate, as are glass and plexiglass.

3. Additions of Handrails to Historic Commercial Buildings

Intent: *Addition of handrails may be necessary to address accessibility and life / safety issues. These additions should not detract from the historic character of a building.*

Standard: A new railing should be simple in design. (insert image)

Guideline: Simple metal work and wood are appropriate. The railing should appear as be mostly transparent (solid-to-void ratios of balusters and openings).

Guideline: If a taller railing is required by building codes, add a second railing above the historic one to achieve a greater overall height without changing the appearance of the original. Design the new railing to be visually subordinate to (thinner and less detailed than) the original.

F. Treatment of Historic Residential Properties

1. Preservation of Historic Residential Facades

Two buildings in the Fairhaven Historic District, the Kulshan Club and the Fairhaven Library, fit the category of historic residential form. This section applies to those buildings, as well as other residential forms listed on the Bellingham Local Historic Register.

Intent: Preserve these character-defining elements on a traditional residential facade:

- a. **Building and roof orientation:** Orientation of building and roof to the street.
- b. **Porch:** Typically a one-story covered, unenclosed or enclosed entry element. A porch floor typically matches the height of the first floor. It is supported by columns and has a baluster.
- c. **Front door:** The primary entrance into the building. Typically a wood door, sometimes half glazed.
- d. **Windows:** Typically double-hung wood windows or similar configuration.
- e. **Trim:** Wood that covers transition between building elements. This is sometimes a decorative molding.
- f. **Exposed rafters:** Structural component at eaves.
- g. **Eaves:** Portion of the roof that overhangs the vertical walls.
- h. **Attic window or vent:** An opening in a gable end.
- i. **Dormer:** A window that projects vertically from the roof or wall. It is a subordinate element to the primary roof.

a. Windows

Refer to Treatment of Historic Commercial Buildings (page XX).

b. Doors

Intent: Preserve the character-defining features of a historic door, its distinct materials and placement. When a new door is needed, it should be in character with the building, especially on primary facades.

Standard: Preserve the decorative and functional features of a primary entrance. These include the door, door frame, screen door, threshold, glass panes, paneling, hardware, detailing, transoms and flanking sidelights.

Standard: Maintain the original position, proportions, size and shape of a historically significant door.

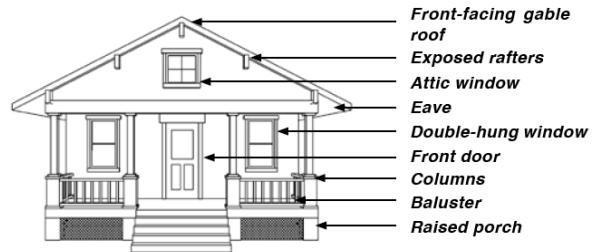
Standard: Repair a damaged historic door to maintain its general historic appearance. If replacement is necessary, use a design and materials that appear similar to that of the original.

c. Roofs

Intent: The character of a historic roof should be preserved, including its form and materials.

Standard: Do not alter the angle or pitch of a historic roof. Maintain the perceived line and orientation of the roof as seen from the street.

Character-Defining Elements of a Residential Façade



Intent: *The shadows created by traditional overhangs contribute to the perception of the building's historic scale.*

Standard: Preserve the original eave depth of a roof. Do not cut back roof rafters and soffits or in other ways alter the traditional roof overhang.

Standard: Preserve original roof materials and decorative elements such as crests, chimneys, roof detailing, gutters and downspouts.

Guideline: New roof materials should convey a scale and texture similar to those used traditionally. Roof replacement material shall be compatible with the architectural style of the structure.

Guideline: Composition shingle roofing can be appropriate replacements for wood shingles. They should have a color similar to the original, or be of the material in weathered condition. Shingles that contain embedded photovoltaic systems are also appropriate in dark colors. Specialty materials such as tiles should be replaced with a matching material.

Standard: Do not add features to a roof, such as a "widow's walk" (an ornate railing around the roof ridge) on a house where there is no evidence that one existed.

Standard: Minimize the visual impacts of skylights and other rooftop devices.

Guideline: A skylight that is flush with the roof plane may be considered where it remains visually subordinate. Skylights should not interrupt the plane of the historic roof, and should be located below the ridgeline.

Guideline: Locate electronic data transmission and receiving devices to minimize impacts.

G. Additions and Alterations to Historic Residential Buildings

1. Additions

Intent: Additions to historic residential buildings should be compatible with the primary structure and not detract from the ability to interpret its historic character. These standards apply to adaptive reuse of historic residential buildings. (insert image)

Standard: Design an addition to relate to the mass and scale of the original structure.

Guideline: An addition should be simple in design to prevent it from visually competing with the primary facade. For a larger addition, break up the mass of the addition into smaller modules that relate to the historic house. To keep the size of a higher mass as small as possible, use a lower plate height.

Standard: Place an addition at the rear or side of a building or set it back from the front to minimize visual impacts and allow the original proportions and character to remain prominent.

Standard: Design a new roof of an addition to be similar to the slope and design details of the original structure.

Guideline: When constructing a rooftop addition, keep the mass and scale subordinate to the primary building.

2. Dormers

Intent: A rooftop dormer may be appropriate. A dormer is typically added to increase the amount of headroom in an upper floor. Traditionally, dormers were designed as smaller elements

Guideline: A dormer should be visually subordinate to the overall roof mass and should be in scale with those on similar historic structures.

Standard: The dormer should be located below the ridge line of the primary structure.

Standard: A dormer should be similar in character to the primary roof form.

Standard: The number and size of dormers should not visually overwhelm the scale of the primary structure.

3. Porches

Intent: A porch is one of the most important character-defining elements of a facade. It provides visual interest and influences perceived scale.

Standard: Preserve a porch in its original condition and form.

Standard: Maintain the existing location, shape, details and posts of the porch.

Standard: Replace missing or deteriorated decorative elements to match existing elements; e.g., match the original proportions and spacing of balusters and porch posts.

Standard: Repair rather than replace deteriorated elements of a porch.

Standard: When replacing a porch is necessary, it should be similar in character, design, scale and materials to those seen traditionally. The most important aspects of a replacement design are its location, scale and materials.

Guideline: The size of a porch should relate to the overall scale of the primary structure to which it is attached.

Guideline: Base the replacement design on historic documentation. Where no evidence of the historic porch exists, a new porch may be considered that is similar in character to those found on comparable buildings.

Guideline: A new porch should use materials similar to those seen historically. Alternative materials for porch decking may be considered where they appear similar to the original.

Guideline: Unless reconstructing a porch from historic documentation, it is not necessary to replicate the details of the original porch or a porch design copied from a similar style house. It is important that new details be compatible (similar form, scale and materials) for the design of the porch and the style of the house.

Intent: If a porch must be enclosed, do so in a way that maintains an appearance of openness.

Guideline: Use transparent materials (such as glass) and place them behind the balusters and balustrade to preserve the visual character of the porch. Enclosing a porch with opaque materials that destroy the openness and transparency of the porch not allowed.

Intent: If a porch has been altered, consider restoring it back to its original design.

Guideline: If the original design of the porch is unknown, base the design of the restoration on other traditional porches on buildings of a similar architectural style.

F. Special Considerations

1. Adaptive Reuse

Intent: *The best use for a historic building is that for which the building was designed, or a closely related use. Every effort should be made to provide a compatible use for the building, one that will require minimal alteration to the building and its site. One example of adaptive use is converting a residence into a “bed and breakfast”.*

Standard: A new use shall be compatible with the historic character of the building, and shall not adversely affect its historic integrity or alter character-defining features.

Guideline: Choose a new use that requires minimal change to the existing building.

2. Historic Additions

Intent: *Some early additions may have taken on historic significance of their own. Additions associated with the period of significance may merit preservation in their own right. More recent additions that detract from the character of the building may be considered for modification or removal.*

Standard: Preserve an older addition that has achieved historic significance in its own right.

Guideline: Additions over 50 years old that are similar in character to the original building's materials, finishes, and design, and that may reflect the workmanship of a master should be preserved.

3. Accessibility

Intent: *Where applicable, owners of historic properties should comply to the fullest extent possible to Americans with Disabilities Act (ADA) provisions, while also preserving the integrity of the character-defining features of their buildings and sites.*

Standard: Design accessibility solutions that do not alter a building's historic characteristics.

Guideline: Alterations to historic properties designed to improve access for persons with disabilities should minimize negative effects on the historic character or materials.

APPENDICES

-- to be added at a later date